



TO: Planning Commission

FROM: Planning and Zoning Department

SUBJECT: RZ-23-010

ADDRESS: 6039 Hillandale Drive

MEETING DATE: January 2, 2023

Summary: Applicant is seeking to rezone subject property from M (Light Industrial) to R-100 (Residential Medium Lot) for the expansion of an existing cemetery.

STAFF RECOMMENDATION: None

PLANNING COMMISSION RECOMMENDATION: TBA

Commissioner District #2: Councilman Rob Turner

PROPERTY INFORMATION	
Location of Subject Property: 6039 Hillandale Drive	
Parcel Number: 16 088 02 002	
Road Frontage: Hillandale Drive	Total Acreage: 5.49 +/-
Current Zoning: M (Light Industrial)	Overlay District: Stonecrest Tier 6
Future Land Use Map/ Comprehensive Plan: CC (City Center)	
Zoning Request: Applicant is seeking to rezone subject property from M (Light Industrial) to R-100 (Residential Medium Lot) for the expansion of an existing cemetery.	
Zoning History: N/A	

APPLICANT / PROPERTY OWNER INFORMATION
Applicant Name: Helen Simpson
Applicant Address: 990 Hammond Drive Suite 900 Atlanta, GA 30328
Property Owner Name: John Link
Property Owner Address: 5188 Winters Chapel Road Dunwoody, GA 30360

**PUBLIC PARTICIPATION
(CPIM)**

The CPIM (Community Planning Information Meeting) was held on December 14, 2023, at City Hall. There was only one (1) community member that requested clarification on how close the expansion is to Hilson Head subdivision for runoff. The Applicant responded to the community member by stating the following:

- The subject property will only be used for burials; no building will be located there; and
- The public will rarely see the expansion from Hillendale Road due to a creek being in the middle of property and the applicant abiding by the 75 feet stream buffer.

DETAILS OF ZONING REQUEST

The site is currently zoned M (Light Industrial). The City's land use policy document (Comprehensive Plan) does not support the rezoning request however, staff in the process of updating version of the Comprehensive Plan. The City of Stonecrest 2038 Comprehensive Plan has designated the parcel to be CC (City Center). The City Center character area intends to promote concentration of residential and commercial uses, which serve surrounding communities in order to reduce automobile travel, promote walkability and increase transit usage.

The Applicant is proposing to rezone the site to R-100 (Residential Medium Lot) zoning district. The R-100 (Residential Medium Lot) zoning district is intended to provide for the protection of neighborhoods within the city where lots have a minimum area of 15,000 square feet, to provide for compatible infill development in neighborhoods, to provide "For Sale", Single family detached residential subdivisions and For Sale Communities, to provide flexibility in design on the interior of new development while protecting surrounding development, to ensure that the uses and structures authorized in the R-100 (Residential Medium Lot-100) District are those uses and structures designed to serve the housing, recreational, educational, religious, and social needs of the neighborhood, to provide for appropriately sized accessible and useable open space in new developments for health, recreational and social opportunities for city residents, and to implement the future development map of the city's comprehensive plan.

The Applicant currently operates a cemetery and crematory located at 6201 Hillandale Drive. The business has an active business license and be operating within the city's limits since 2018. The Applicant is proposing to expand the business onto subject property, where only burials will be located. The Applicant owns three (3) properties in the area (subject property, 6129 Hillandale Drive, and 6201 Hillandale Drive). The operation of a cemetery requires a SLUP (Special Land Use Permit) that must be approved by the Mayor and City Council, according to the current code. Staff have no record of an approved SLUP regarding the operations of the existing business. Additionally, a portion of the subject property is located between an existing Shell Gas Stations and Medical Facility.

In Section 4.2.17 (Cemetery, columbarium, mausoleum, as principal use) has the following supplemental regulations:

- A. A cemetery, columbarium or mausoleum shall be located on property with a minimum lot size of ten acres.
- B. The lot on which a cemetery, columbarium or mausoleum is located shall have a minimum public road frontage of 100 feet.
- C. Permanent public ingress/egress shall be provided for the lot on which a cemetery, columbarium or mausoleum is located.
- D. Compliance must be maintained with all requirements of the State of Georgia and the county tax commissioner.

ADJACENT ZONING & LAND USE

ADJACENT ZONING & LAND USE		
NORTH	Zoning: MR-1 (Medium Density Residential)	Land Use: Undeveloped Land
SOUTH	Zoning: N/A	Land Use: Interstate 20
EAST	Zoning: M (Light Industrial)	Land Use: Vacant Property
WEST	Zoning: R-100 (Residential Medium Lot)	Land Use: Cemetery & Crematory

**PHYSICAL CHARACTERISTICS &
INFRASTRUCTURE**

The site is currently undeveloped with one (1) road frontage (Hillandale Drive). Pole Bridge Creek runs through the middle of the subject property. The Applicant must abide by state and local stream buffer regulations.

**PROPOSED ADMENDMENTS TO THE OFFICIAL ZONING
MAP CRITERIA**

1. Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan;
2. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property or properties;
3. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned;
4. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property or properties;
5. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal;
6. Whether the zoning proposal will adversely affect historic buildings, sites, districts, or archaeological resources;
7. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools; and
8. Whether the zoning proposal adversely impacts the environment or surrounding natural resources

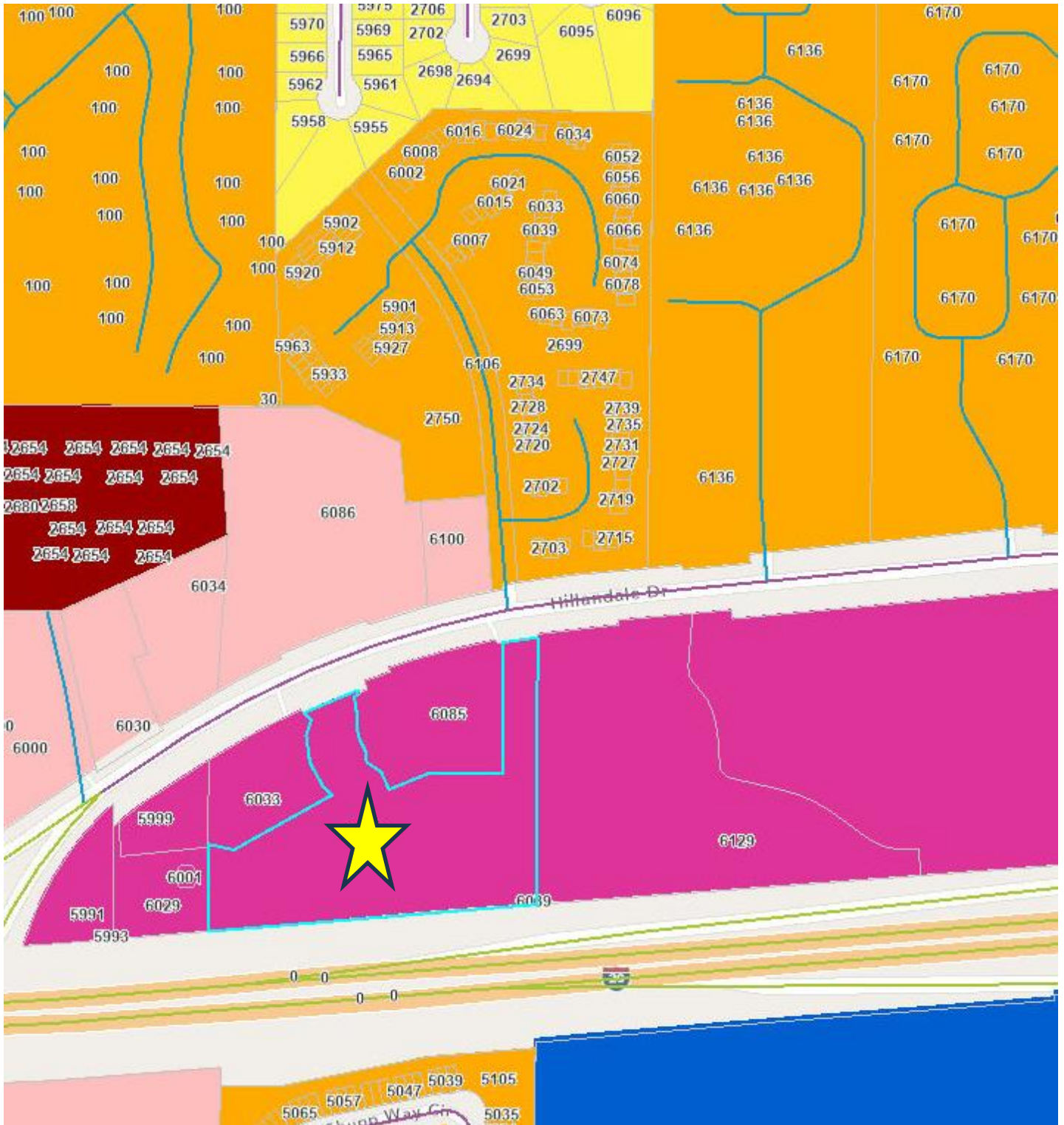
RECOMMENDATION(S)

None

Attachments Included:

- **Future Land Use Map**
- **Zoning Map**
- **Overlay Map**
- **Aerial Map**
- **Site Photo**
- **Site Plan/Survey**
- **Environmental Site Analysis**
- **Letter of Intent**

Future Land Use Map | City Center (CC)

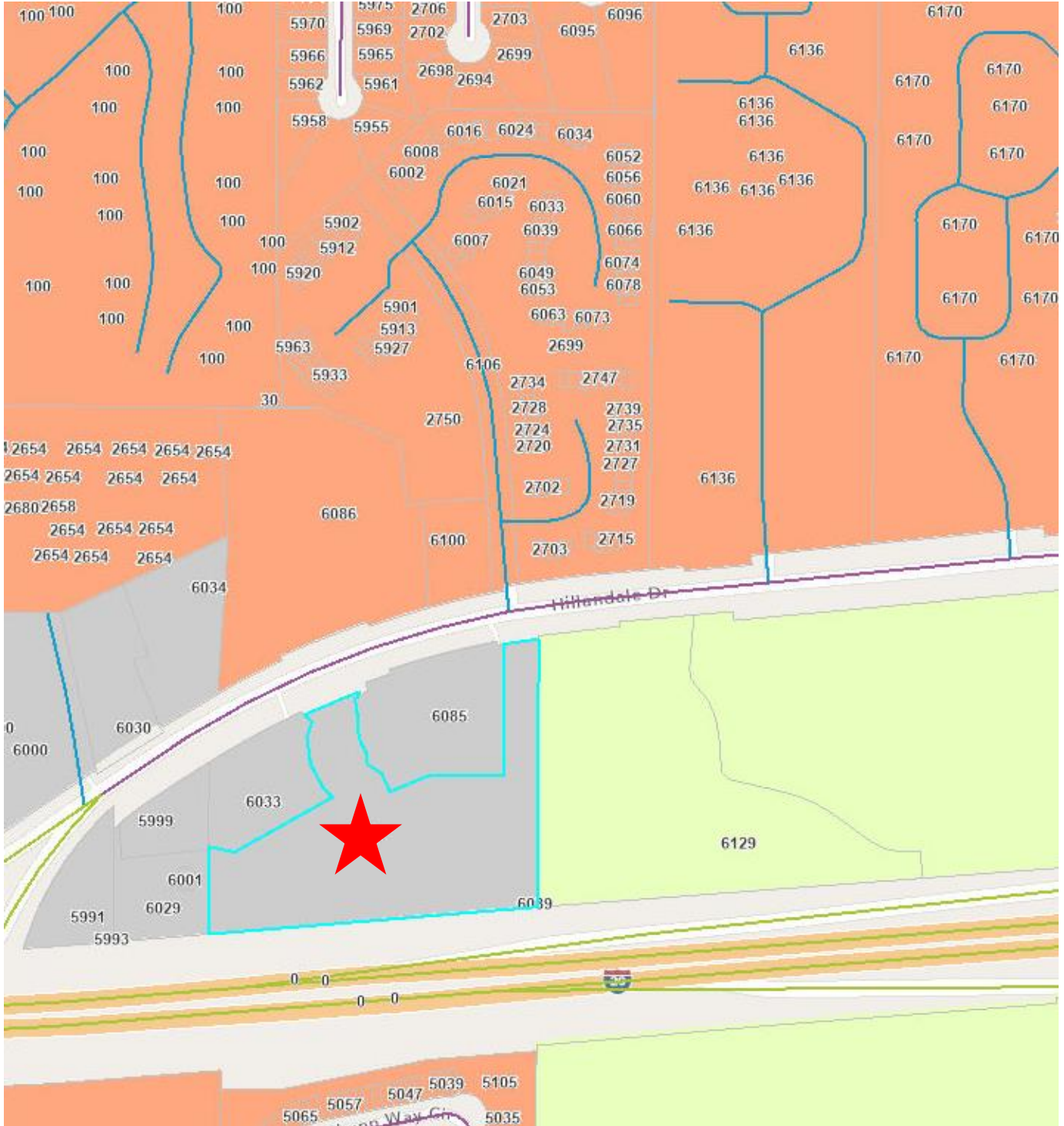


City Center (CC)

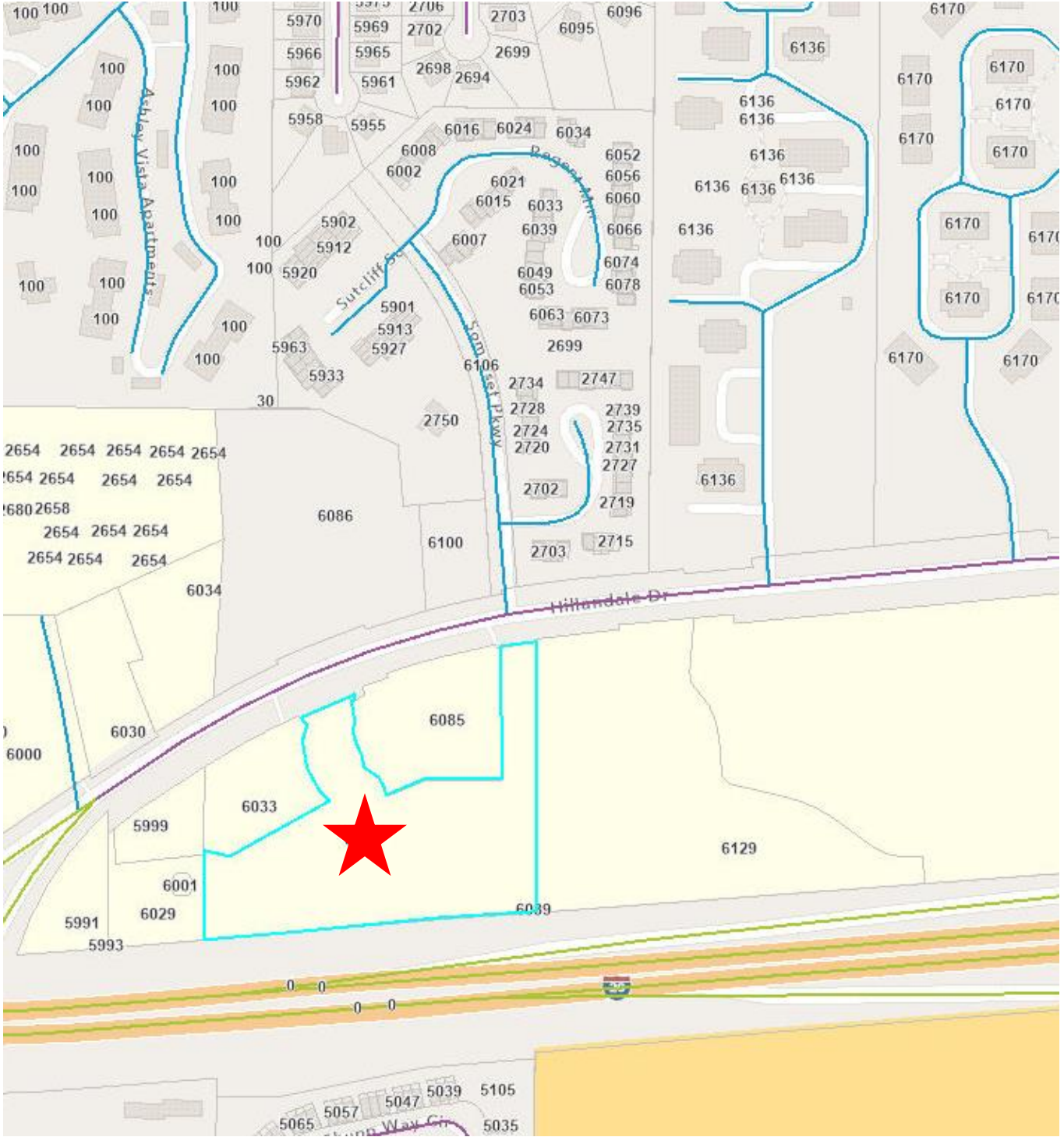
The intent of the City Center Character Area is to promote the concentration of residential and commercial uses, which serve surrounding communities in order to reduce automobile travel, promote walkability and increase transit usage.

The areas should be a focal point for several neighborhoods with a variety of activities such as general retail, commercial, professional office, high-density housing, entertainment and recreational uses and appropriate public open spaces that are easily accessible by pedestrians. This character area is similar to neighborhood center, but at a larger scale. The preferred density for areas of this type is up to 40 dwelling units per acre.

Zoning Map | M (Light Industrial)



Overlay District Map | Stonecrest Tier 6



Aerial Map



Site Photo



Network: Dec 18, 2023 at 1:23:38 PM EST
Local: Dec 18, 2023 at 1:23:38 PM EST
N 33° 42' 19.396", W 84° 8' 36.321"
6085 Hillandale Dr
Stonecrest GA 30058
United States





Environmental Site Analysis



Hillendale Memorial Gardens Expansion
6039 Hillendale Drive
Rezoning Application (M to R100) - Environmental Site Analysis Response

Conformance to the Comprehensive Plan

The proposed project is an expansion of the existing Hillendale Memorial Gardens cemetery located on Hillendale Drive between I-20, Fairington Road and Lithonia Industrial Blvd. The Hillendale Memorial Gardens cemetery is an established cemetery and an integral part of the community. Unfortunately, COVID created a heightened demand for local burials and the cemetery needs expansion.

The property to the west of the existing cemetery provides an ideal expansion and would be accessed from within the existing cemetery. The proposed expansion property is a wooded site with a creek bisecting the land. The creek is controlled by an upstream culvert under Hillendale Drive and downstream by box culvert crossings under I-20. No floodplain lies on the expansion property according to the FEMA FIRM map and no wetlands are recorded on the expansion property per the Wetland Mapper. (See attached maps)



990 Hammond Drive, Suite 900, Atlanta, Georgia 30328
Phone: 770.857.8400 | Fax: 770.857.8401 | loweengineers.com

The adjacent properties are:

- East: 6201 & 6129 Hillandale Drive - Existing Hillandale Memorial Gardens cemetery,
- West: 6029 Hillandale Drive - Creative Kids Day Care
- North: 6033 Hillandale Drive - Shell Fuel Station
6085 Hillandale Drive - Medical office building
- South: I-20 right of way

Proposed Site Plan (NTS)



990 Hammond Drive, Suite 900, Atlanta, Georgia 30328
 Phone: 770.857.8400 | Fax: 770.857.8401 | loweengineers.com

The Comprehensive Land Use Plan 2038 designates both the existing cemetery and the expansion property within the City Center (CC) Character Area and the Teir 6 Overlay. This property is currently zoned industrial which is not a land use type in the City Center while residential is part of the character. (Figure LU-06)

City of Stonecrest
 Comprehensive Plan 2038 "The City of Innovation and Excellence" 

COMPREHENSIVE PLAN ELEMENTS **LAND USE**

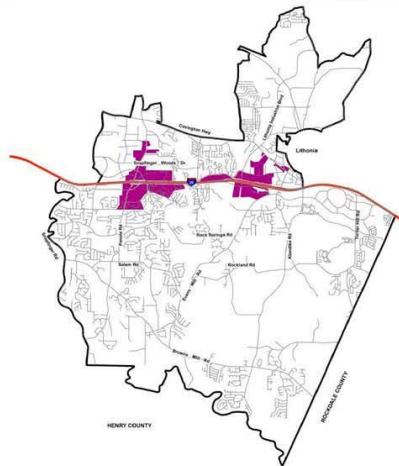
City Center (CC)

The intent of the City Center Character Area is to promote the concentration of residential and commercial uses, which serve surrounding communities in order to reduce automobile travel, promote walkability and increase transit usage.

The areas should be a focal point for several neighborhoods with a variety of activities such as general retail, commercial, professional office, high-density housing, entertainment and recreational uses and appropriate public open spaces that are easily accessible by pedestrians. This character area is similar to neighborhood center, but at a larger scale. The preferred density for areas of this type is up to 40 dwelling units per acre.

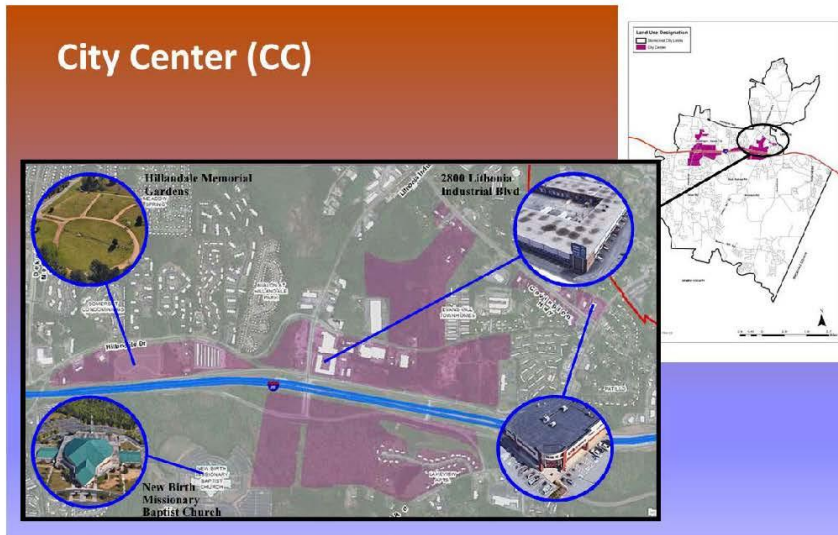
City Center Character Area Locations

- Chupp Road
- Hillandale Road
- Fairington Road
- Panola Road and I-20
- Stewart Lake Court



Building Community, Culture & Commerce For Now and Into The Future!

151



Building Community, Culture & Commerce For Now and Into The Future!

153

990 Hammond Drive, Suite 900, Atlanta, Georgia 30328
 Phone: 770.857.8400 | Fax: 770.857.8401 | lowengineers.com

The expansion of the Hillandale Memorial Gardens Cemetery is an appropriate use for this land as it is an extension of an existing community need. The cemetery is specifically shown within the Stonecrest Comprehensive Plan City Center Character Area. The limited Hillandale Road frontage and the 150 foot state water buffers for the existing creek that bisects the expansion property creates a hardship for other types of development. The cemetery expansion does not create any additional usage to the local transportation network, the water and sewer system, and school system. The proposed site also provides a nature area within the 150' state waters buffer through the middle of expansion.

It appears that part of this property had been cleared in the past and contains a master dry stormwater management pond onsite that treats this property as well as the adjacent fuel station and medical office building that front on Hillandale Drive. This stormwater management pond is proposed to be modified for the proposed development. State Waters buffer of 150 foot are proposed on the site plan. The State waters buffer along the creek are proposed to remain wooded and undisturbed per code except for the needed road crossing. The crossing is proposed as an open bottom arch culvert so the existing stream bed can remain undisturbed. This saved area will be an asset to the environment as well as to the cemetery visitor experience.

Wetlands - Absence

Wetland Mapper shows no wetlands on the parcel. (See attached map)

Floodplain - Absence

FEMA Firmette shows no floodplain on the parcel. (See attached map)

Streams/Stream Buffers - Presence

75' state waters buffers are provided on both sides of the state water protecting the creek's environment accordingly. Road stormwater is collected within a storm drainage system and piped to the updated onsite stormwater management pond. The road crossing is proposed as an open bottom arch culvert so the existing stream bed can remain undisturbed. (See attached proposed site plan)

Slopes exceeding 25% over a 10-foot rise in elevation

The field topography survey shows no natural slopes exceeding 25% slopes over a 10' rise. The small area of an older manmade dry stormwater management pond has a small area with these slopes but these slopes will be softened with the proposed plan.

Vegetation

The site is generally wooded. See the attached pdf for the existing survey with tree locations. No known wildlife species were observed on the site visit. This area is not listed on the Georgia DNR wildlife resources website.

Archeological/Historical Sites

No known archeological/historical sites were observed on the site visit. This property is not located within the Davidson-Aarabia Mountain Nature Preserve.

National Flood Hazard Layer FIR Mette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIS PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, VE
		With BFE or Depth Zone A, V, VE, VE1
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% Annual Chance Flood with average depth less than one foot or with drainage areas of less than one square mile. Zone X
		Future Conditions, 1% Annual Chance Flood Hazard. Zone X
		Area with Reduced Flood Risk due to Levee, See Note, Zone X
		Area with Flood Risk due to Levee. Zone D
OTHER AREAS		Area of Minimal Flood Hazard. Zone I
		Effective IOMs
GENERAL STRUCTURES		Area of Undocumented Flood Hazard. Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Roadwall
		Cross Sections with 1% Annual Chance
MAP PANELS		Water Surface Elevation
		Channel Transition
		Base Flood Elevation Line (BFE)
		Limit of Study
OTHER FEATURES		Jurisdiction Boundary
		Channel Transition, Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The dot displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

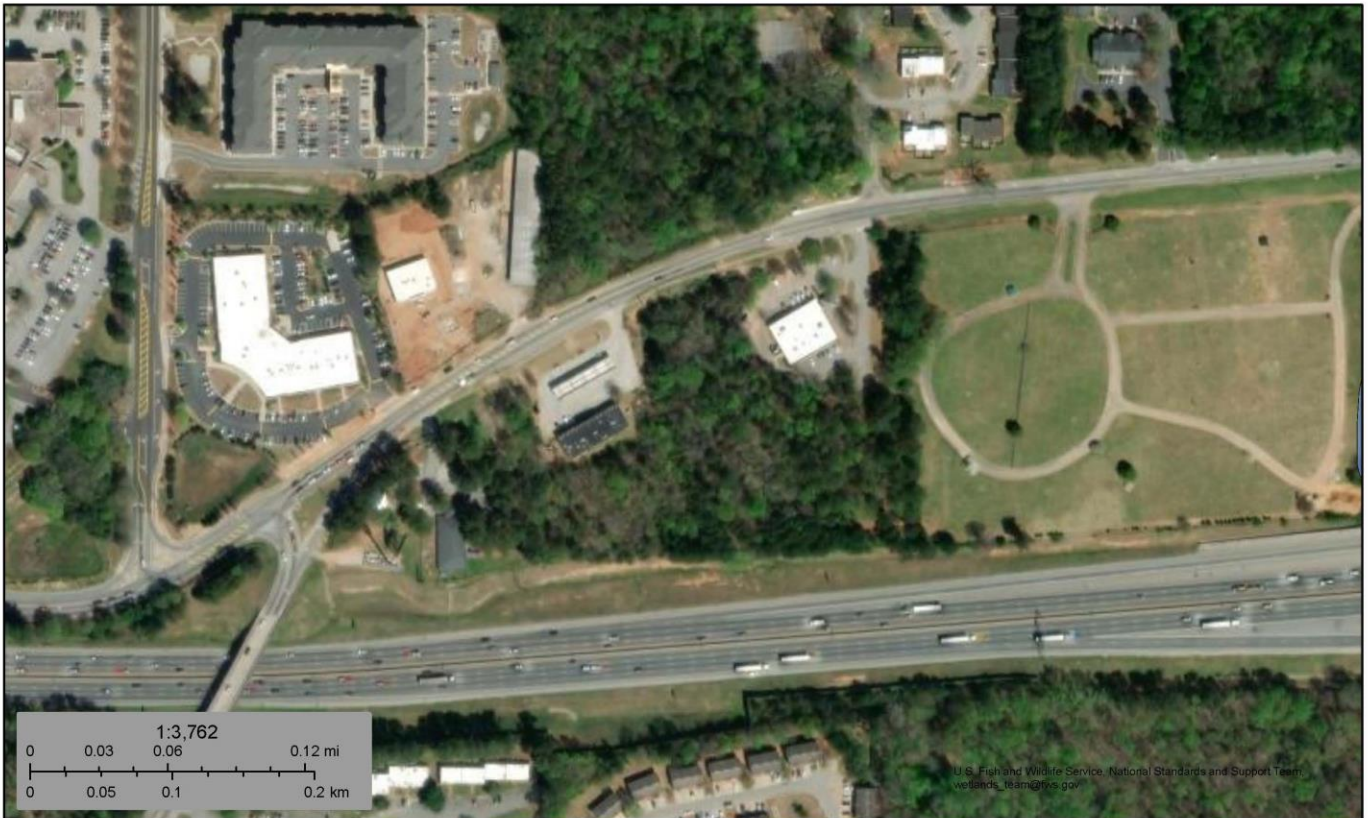
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was updated on 11/1/2025 at 12:58 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This mapping is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, coordinate identifiers, FIRM panel number, and FIRM effective date. Mapping for unmapped and unimproved areas should be used for regulatory purposes.



Wetland Mapper - 6039 Hillandale Drive



November 13, 2023

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

National Wetlands Inventory (NWI)
This page was produced by the NWI mapper

Letter of Intent



October 27, 2023

Matthew Williams
Tre'Jon Singletary
City of Stonecrest

RE: Hillandale Memorial Gardens - cemetery expansion

I believe you have some knowledge of our current situation with the approval of the Hillandale Memorial Gardens cemetery expansion LDP. (Parcel 16 088 02 002) When we started this plan in 2021 the zoning ordinance was marked with proposed changes to allow a cemetery by right in an M zoning. Soon after there was considerable change within the city organization, and it appears we had some miscommunication between the city and ourselves. We were informed within a phone call that our LDP had been approved so we assumed the zoning ordinance change had been completed. Our client has been proceeding with a contractor to prepare for the start of construction. We have recently come to understand that the zoning ordinance has not been updated for the M zoning.



Unfortunately, due to Covid, the number of burial plots has reduced drastically and the need for the expansion is an urgent need for the community. We would like to come meet with you to discuss how to fast track the rezoning/SUP of the expansion from zone M to R-100. R-100 is the zoning of the existing cemetery that the expansion is connecting to and allows for a cemetery under a Special Land Use Permit. Since the plan has already been through the review process we think we could have an opportunity to proceed expeditiously.

We have scheduled our Pre-App meeting through Cobi Brown for next Wednesday Nov 1 at 10am. Please feel free to call or email me if you have any questions and thank you for your time.

Helen Simpson, PE
Lowe Engineers
404-316-5817
Helen.simpson@loweengineers.com

990 Hammond Drive, Suite 900, Atlanta, Georgia 30328
Phone: 770.857.8400 | Fax: 770.857.8401 | loweengineers.com